

**THE CITY OF NAPOLEON**

**BUILDING & ZONING DEPARTMENT**

**255 W. RIVERVIEW**

**(419)592-4010**

**Zoning Commercial Permit**

**Permit Number: ZC2010-14**

Page 1 of 1

Printed: 11/2/2010

**ADDRESS:**

**842 Riverview Ave. E.**

**Applicant**

**Name:** Gary Malone

**Address:** 842 E. Riverview Ave.

**Approval Date:**

**Owners**

**Name:** Gary Malone

**Address:** 842 E. Riverview Ave.

Napoleon, OH 43545

**Contractors**

**Fees and Receipts:**

Number	Description	Amount
FEE2010-527	Zoning	\$50.00
<b>Total Fees:</b>		<b>\$50.00</b>
RCPT2010-326		\$50.00
<b>Total Receipts:</b>		<b>\$50.00</b>

36x48 proposed additional storage

**APPLICANTS SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**REMINDER: YOU MUST CALL (419)592-4010 FOR AN INSPECTION**

**SCANNED**

36x48 proposed additional storage



Zoning Administrator  
Building Commissioner  
Tom Zimmerman

**CITY OF NAPOLEON**  
**Building & Zoning Division**  
255 W. Riverview Avenue, PO Box 151, Napoleon, OH 43545  
Phone: 419-592-4010 - Fax: 419-599-8393

**ZONING PERMIT APPLICATION**

FEE: \$50.00\* (MZON 100.3100.46690)

ESTIMATED CONSTRUCTION COST \$ 32,000

ADDRESS OF PROPOSED BUSINESS: 842 E. RIVERVIEW AVE.

ZONE: I-2 # OF PARKING SPACES: 3 SQ FT OF BUILDING: 1440 EXISTING  
1728 ADDITION  
3168 TOTAL

TYPE OF BUSINESS: STORAGE

PROPERTY OWNER: GARY L. & DIXIE MALONE

PROPERTY OWNER ADDRESS: 230 GLENWOOD AVENUE, NAPOLEON OHIO 43545  
\*\*\*\*\*

BUSINESS OWNER: GARY L. & DIXIE MALONE

OWNER ADDRESS: 230 GLENWOOD AVENUE, NAPOLEON OHIO 43545

OWNER PHONE: 419-592-9339 CELL: 419-591-6101  
\*\*\*\*\*

APPLICANT: GARY MALONE PHONE#: 419-592-9339

Gary L. Malone  
SIGNATURE OF APPLICANT

10-29-10  
DATE

\*\*\*\*\*  
\*Fee may be waived if usage or size of building does not change.

\_\_\_\_\_  
TOM ZIMMERMAN  
ZONING ADMINISTRATOR

\_\_\_\_\_  
DATE

Building/Zoning Use Only  
Batch # 23432 Check # 9819 Date 11-1-10



**CITY OF NAPOLEON**  
**Building & Zoning Division**

255 W. Riverview Avenue, PO Box 151, Napoleon, OH 43545  
Phone: 419-592-4010 - Fax: 419-599-8393

Zoning Administrator  
Building Commissioner  
Tom Zimmerman

# Fax Transmission

**To:**

**Company Name:** Wood County Building Dept.

**Fax Number:** 419-373-6786

**Number of pages:** 2

**From:** Tom Zimmerman

**Date:** 11-2-10

**Comments:** Zoning Commercial Permit for additional storage.  
Please call if you have any questions.

Message Confirmation Report

NOV-02-2010 14:40 TUE

Fax Number : 4195998393  
Name : NAPOLEON CITY

Name/Number : 914193736786  
Page : 2  
Start Time : NOV-02-2010 14:39 TUE  
Elapsed Time : 00'48"  
Mode : STD G3  
Results : [O.K]

**Comments:** Zoning Commercial Permit for additional storage.  
Please call if you have any questions.

**Date:** 11-2-10

**From:** Tom Zimmerman

**Number of pages:** 2

**Fax Number:** 419-373-6786

**Company Name:** Wood County Building Dept.

**To:**

# Fax Transmission

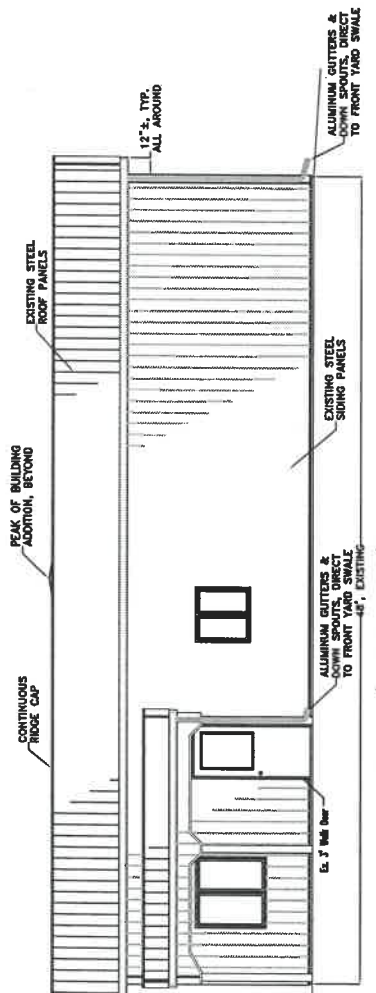
**CITY OF NAPOLEON**  
**Building & Zoning Division**  
255 W. Kiverview Avenue, PO Box 151, Napoleon, OH 43545  
Phone: 419-592-4010 - Fax: 419-599-8393

Zoning Administrator  
Building Commissioner  
Tom Zimmerman

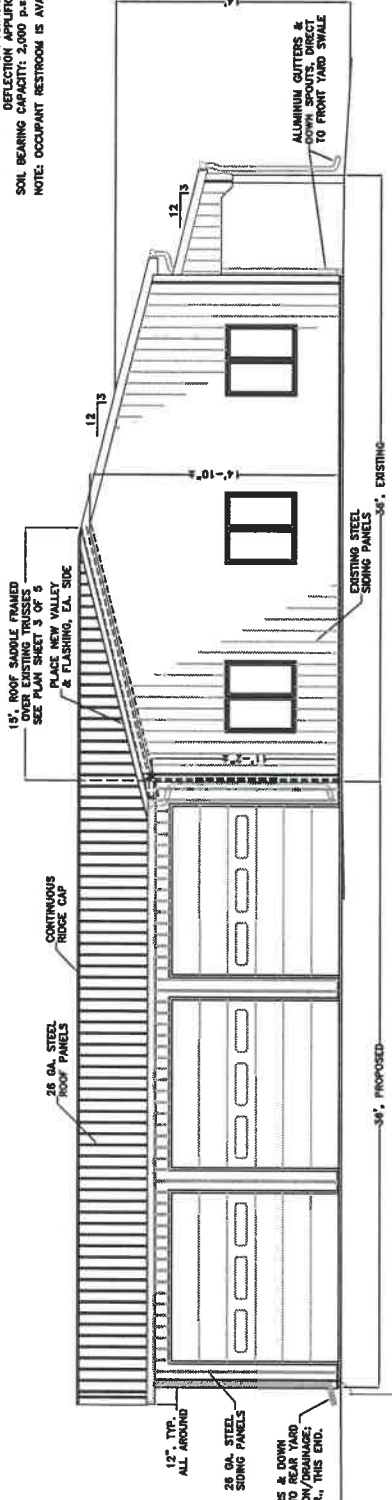


**BUILDING DATA:**

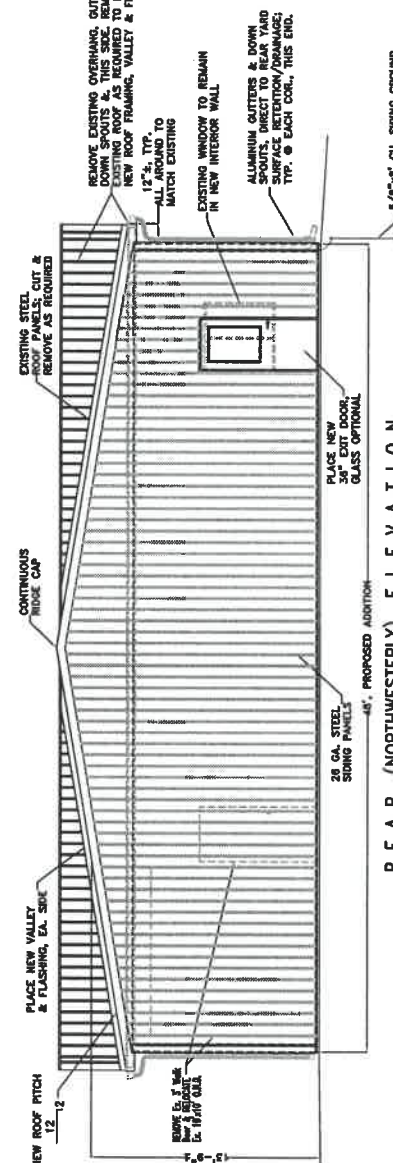
BE: 2007 OHIO BUILDING CODE  
 USE GROUP: "S-1" MODERATE HAZARD STORAGE  
 CONSTRUCTION TYPE: SR, COMBUSTIBLE-UNPROTECTED  
 AREA ALLOWABLE: 9,000 SQ. FT. (Table 503)  
 EXISTING: 1,728 SQ. FT. (THIS PROJECT)  
 PROPOSED: 3,284 SQ. FT.  
 HEIGHT: ALLOWABLE: 40'-0" (1 STORY) NO CHANGE  
 EXISTING: 38'-0" (1 STORY) NO CHANGE  
 MAXIMUM OCCUPANCY LOAD: 7 PERSONS (Table 1004.1.1/Min) 45% EXISTING  
 MAXIMUM OCCUPANCY LOAD: 7 PERSONS (Table 1004.1.1/Min) 45% EXISTING  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200' ALLOWABLE  
 DESIGN LOADS: FIRST FLOOR: MIN. 125 psf. LIVE plus DEAD LOAD  
 ROOF: 20 psf. LIVE LOAD plus DEAD LOAD  
 20 psf. MIN. GROUND SNOW LOAD  
 SNOW LOAD IMPORTANCE FACTOR, I = 1.0  
 THERMAL FACTOR, Ct = 1.2  
 WIND: EXPOSURE "B", 76 mph basic wind speed,  
 100 mph wind velocity,  
 WIND IMPORTANCE FACTOR, Iw = 1.00  
 BUILDING CATEGORY "B"  
 SEISMIC DATA: SITE CLASS = 0  
 SPECTRAL RESPONSE COEFFICIENTS, SDS = 0.280  
 OCCUPANCY IMPORTANCE FACTOR, I = 0.144  
 SEISMIC DESIGN CATEGORY: SUBC = F2000 = B  
 ANALYSIS PROCEDURE: SAP, (ASCE 7)  
 RESPONSE MODIFICATION COEFFICIENT, R = 7.0  
 DEFLECTION AMPLIFICATION FACTOR, Cd = 4.5  
 SOIL BEARING CAPACITY: 2,000 p.s.f. (Class 4 Soils)  
 NOTE: OCCUPANT RESTROOM IS AVAILABLE IN THE EXISTING BUILDING.



**FRONT (SOUTHEASTERLY) ELEVATION**



**RIGHT SIDE (SOUTHWESTERLY) ELEVATION**  
LEFT SIDE (NORTHEASTERLY) ELEVATION IS MIRROR - w/o DOORS & WINDOWS



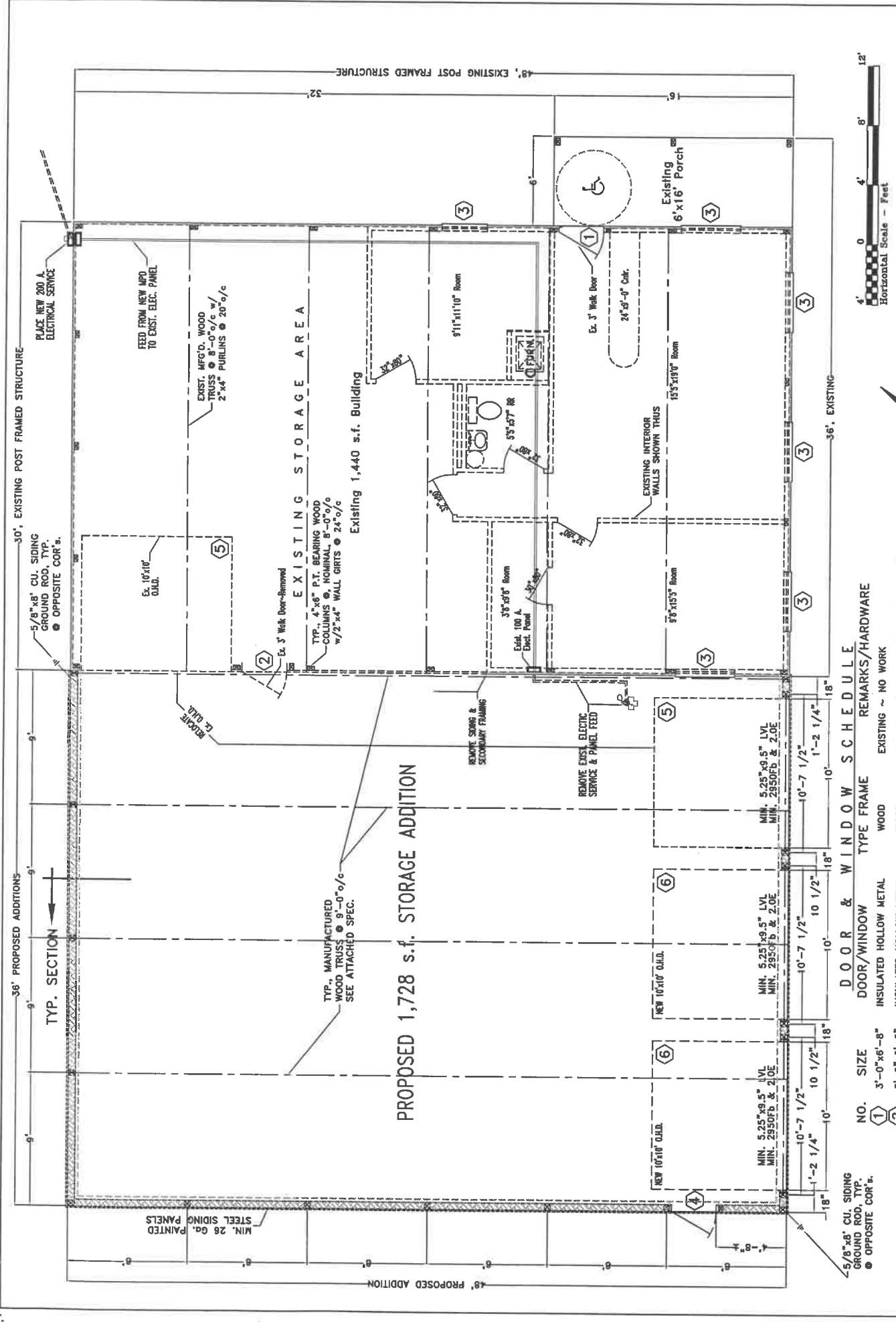
**REAR (NORTHWESTERLY) ELEVATION**

- INDEX OF DRAWINGS:**
- 1) EXTERIOR ELEVATIONS & BUILDING DATA
  - 2) FLOOR PLAN w/DOOR & WINDOW SCHEDULE
  - 3) FOUNDATION & ROOF SADDLE FRAMING PLAN AND GENERAL SPECIFICATIONS
  - 4) TYPICAL SECTIONS & DETAILS
- ATTACHMENTS:**
- E-1) ELECTRICAL PLAN & DETAILS
  - S-1) SITE PLAN & LOCATION MAP
- CERTIFIED TRUSS SPECIFICATION

**SCANNED**

**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE. 419.592.9339 MAPLEDEM, OHIO  
 DIRECTOR: G:\INDO\CUSTOM\FILE: G MALONE\BOWELLO FLOOR PLAN REVISED:  
 DRAWN BY: B.D.S. - dba: NEW DIMENSIONS  
 SCALE: 3/16" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER:  
 1 OF 4





DOOR & WINDOW SCHEDULE		REMARKS/HARDWARE	
NO.	SIZE	DOOR/WINDOW TYPE FRAME	REMARKS/HARDWARE
1	3'-0" x 6'-8"	INSULATED HOLLOW METAL	EXISTING ~ NO WORK
2	3'-0" x 6'-8"	INSULATED HOLLOW METAL	REMOVE w/WALL PANELS & SECONDARY FRAMING
3	3' x 3' or 4' x 4'	METAL FRAMED WINDOW	EXISTING ~ NO WORK
4	3'-0" x 6'-8"	INSULATED HOLLOW METAL	NEW EGRESS DOOR w/H.C. HARDWARE (a)
5	10'-0" x 10'-0"	METAL OVERHEAD DOOR	EXISTING ~ RELOCATE TO NEW OPENING
6	10'-0" x 10'-0"	METAL OVERHEAD DOOR	NEW DOOR TO MATCH EXISTING INSOFAR AS PRACTICABLE, FURNISH COMPLETE w/ALL HARDWARE

(a) HARDWARE TO BE COMMERCIAL GRADE AS MANUFACTURED BY, RUSSSWIN, SCHLAGE, VON DUPRIN, LNC CLOSERS, IVES, OR EQUAL ADA APPROVED.



**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE.  
 419.592.3339  
 DIRECTOR: GARY MALONE/BOWELCO FLOOR PLAN  
 MAPLEDM, OHIO  
 DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS  
 REVISED:  
 SCALE: 1/4" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER:  
 2 OF 4

**FLOOR PLAN w/DOOR & WINDOW SCHEDULE**

**GENERAL SPECIFICATIONS**

**GENERAL NOTES:**

1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH THE 2007 OHIO BUILDING CODE UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA. ALL MATERIALS SHALL BE MANUFACTURED BY A COMPANY WITH AN ISO 9001, STATE AND FEDERAL REGULATIONS AND ALL MATERIALS SHALL BE MANUFACTURED BY A COMPANY WITH AN ISO 9001, STATE AND FEDERAL REGULATIONS AND ALL MATERIALS SHALL BE MANUFACTURED BY A COMPANY WITH AN ISO 9001, STATE AND FEDERAL REGULATIONS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHALL BE TAKEN FROM THE EXTERIOR FACE UNLESS OTHERWISE NOTED.

**SITE WORK NOTES:**

1. CONTRACTOR SHALL REMOVE ALL TOP SOIL TO ITS DEPTH WITHIN THE BUILDING FOOTPRINT AND ALL EXISTING CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
2. EXISTING CONSTRUCTION SHALL BE DEMOLISHED AND REMOVED FROM THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHALL BE TAKEN FROM THE EXTERIOR FACE UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING CONSTRUCTION PRIOR TO BEGINNING WORK. ALL DIMENSIONS SHALL BE TAKEN FROM THE EXTERIOR FACE UNLESS OTHERWISE NOTED.

**CONCRETE FOUNDATION WORK NOTES:**

1. ALL CONCRETE FOUNDATION SHALL CONFORM TO THE LATEST INTERPRETATION OF THE OHIO BUILDING CODE. ALL CONCRETE SHALL BE PLACED AT A LOCATION ON THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
2. ALL CONCRETE SHALL BE PLACED UNDER SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. ALL CONCRETE SHALL BE PLACED AT A LOCATION ON THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
3. ALL CONCRETE SHALL BE PLACED UNDER SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. ALL CONCRETE SHALL BE PLACED AT A LOCATION ON THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
4. ALL CONCRETE SHALL BE PLACED UNDER SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. ALL CONCRETE SHALL BE PLACED AT A LOCATION ON THE SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.

**STEEL FRAMING NOTES:**

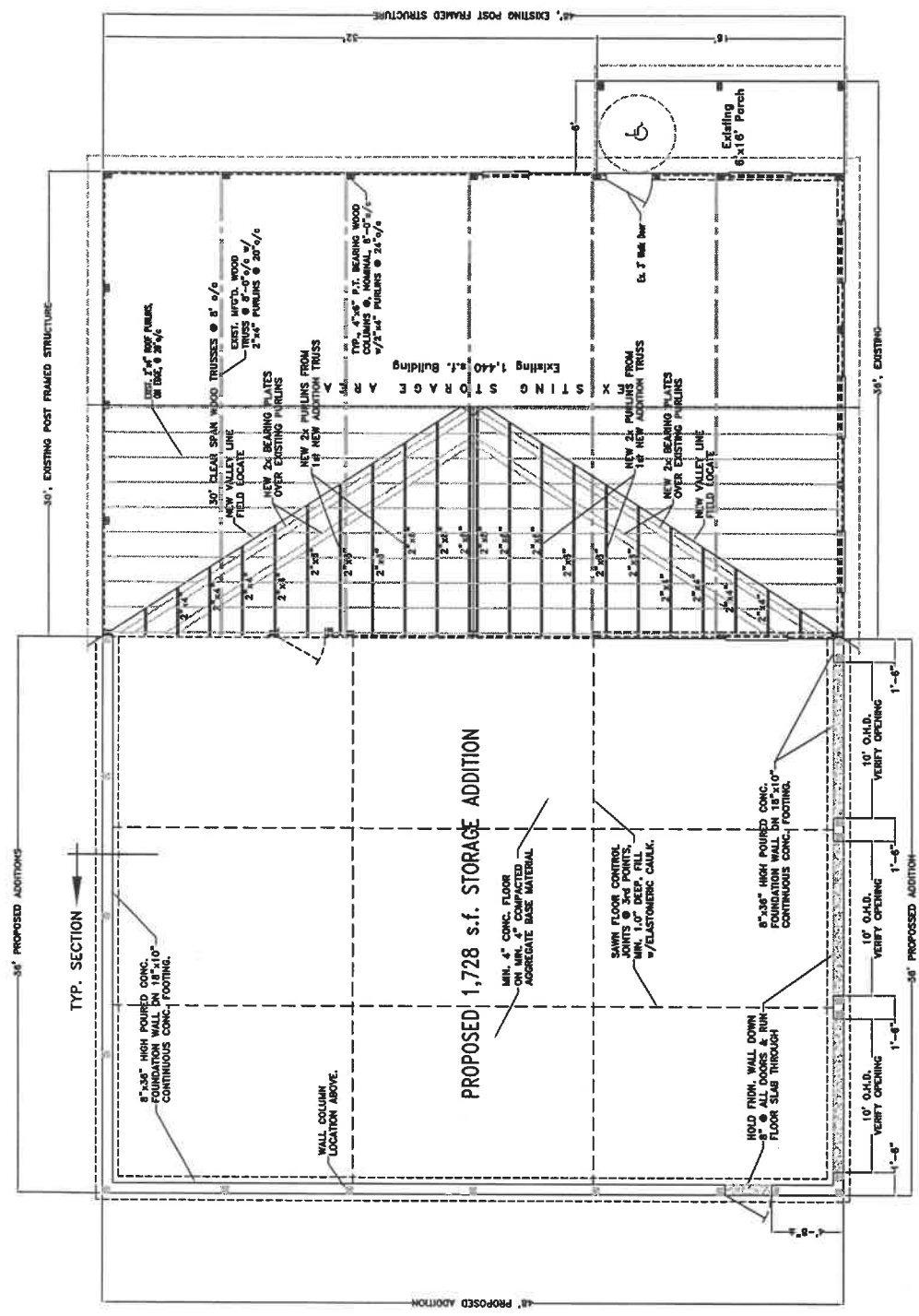
1. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.
2. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.
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4. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL STEEL FRAMING SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.

**DOOR & WINDOW NOTES:**

1. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.
2. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.
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4. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER. ALL DOORS SHALL BE MANUFACTURED BY A LICENSED PROFESSIONAL ENGINEER.

**ROOM FINISH NOTES:**

1. ALL ROOM FINISHES SHALL BE IN ACCORDANCE WITH THE OHIO BUILDING CODE UNLESS OTHERWISE NOTED.



FOUNDATION PLAN

ROOF SADDLE FRAMING PLAN



**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE.  
 419.592.9339  
 DIRECTOR: C:\NO\CUSTOM\FILE G MALONE\BOWELLO FLOOR PLAN REVISED: 11/11/10  
 DRAWN BY: R.D.S. - drc: NEW DIMENSIONS

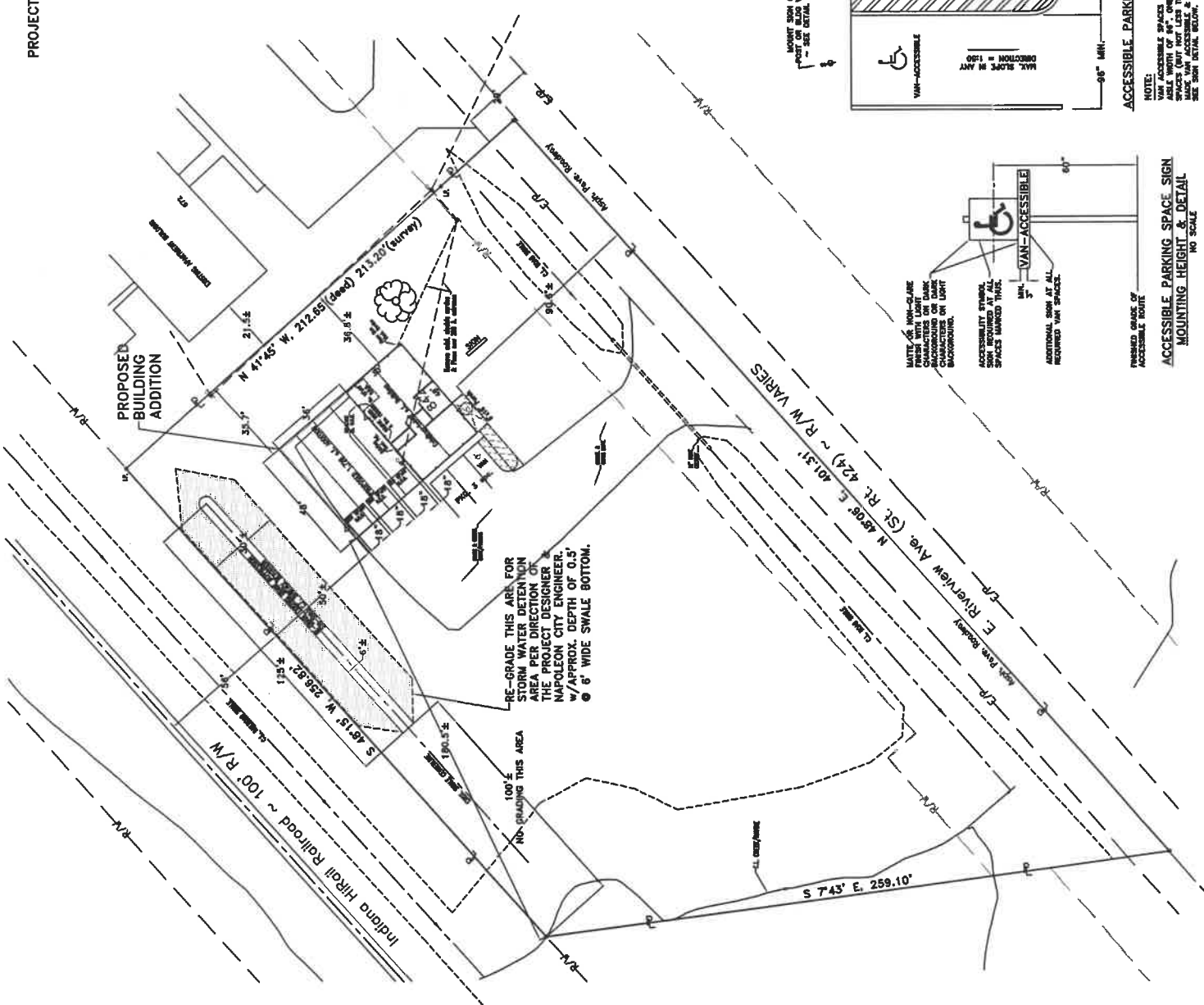
SCALE: 3/16" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER: 3 of 4







PROJECT LOCATION



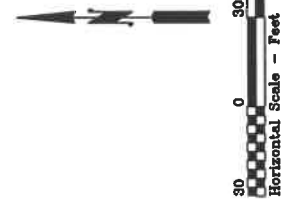
RE-GRADE THIS AREA FOR STORM WATER DETENTION AREA PER DIRECTION OF THE PROJECT DESIGNER & NAPOLÉON CITY ENGINEER. APPROX. DEPTH OF 0.5' @ 6" WIDE SWALE BOTTOM.

NO GRADING THIS AREA

LOCATION MAP

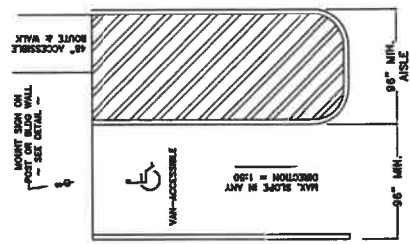
**LEGAL DESCRIPTION**  
Being part of the Southwest fractional quarter (1/4) of Section 7, Town 5 North, Range 7 East, Liberty Township, City of Napoleon, Henry County, Ohio

LOT AREA = 1.60 ACRES (66,696 SQ. FT.)  
ZONING = I-2 OPEN INDUSTRIAL  
3 PARKING SPACES - TOTAL  
1 HANDICAPPED SPACE  
1 VAN ACCESSIBLE



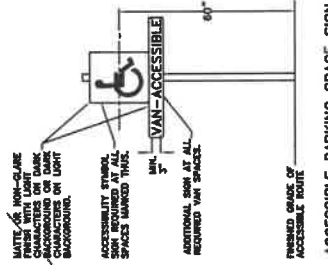
OHIO UTILITIES INSPECTION SERVICE  
The undersigned utility shown herein are only approximate. Some of the utility lines shown may be for other utilities. Check with the appropriate utility company for the location of all utility lines. Call the Ohio Public Utilities Commission (O.P.U.C.) at 1-800-362-3764. (Registration & working copy books are subject to change.)

<b>GARY MALONE STORAGE BUILDING</b>	
842 E. RIVERVIEW AVE.	419.992.5339
DIRECTOR: C:\NO\CUSTOM	FILE NAME: borwellon.spl
DRAWN BY: R.D.S.	~ obs: NEW DIMENSIONS
REVISIONS:	
SCALE: 1" = 30'	
DATE: OCT. 2010	
DRAWING NUMBER:	S - 1



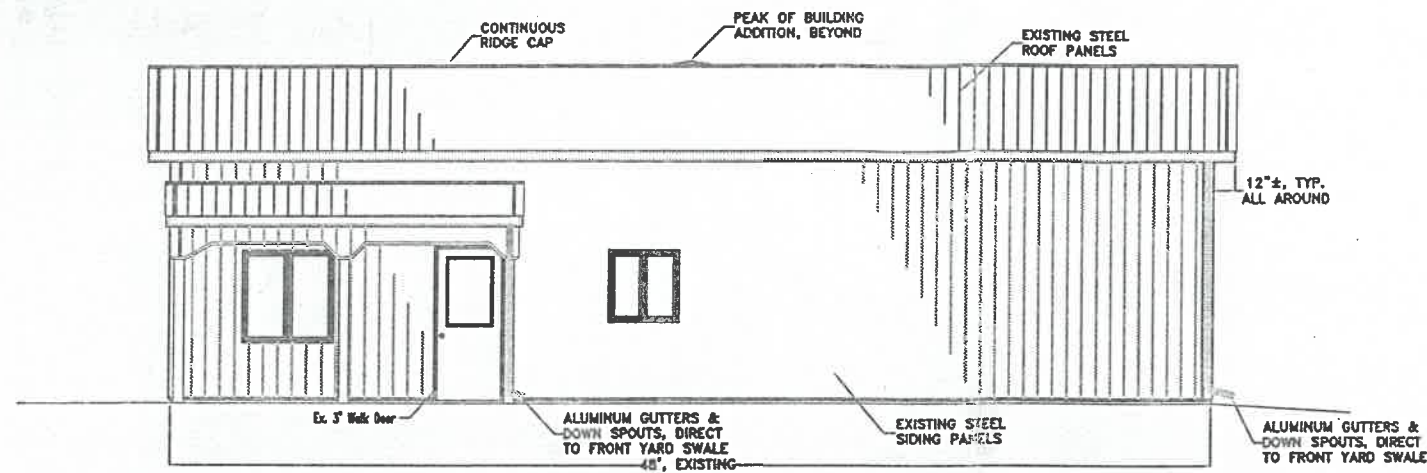
**ACCESSIBLE PARKING SPACE DIMENSIONS**  
NO SCALE

NOTE:  
VAN ACCESSIBLE SPACES REQUIRE A MIN. ACCESSIBLE WIDTH OF 98" ONE OF EVERY 8 UNPAVED SPACES (ONLY FOR USE AS A PARKING SPACE) SHALL BE VAN ACCESSIBLE. SEE SHOWN DETAIL BELOW.

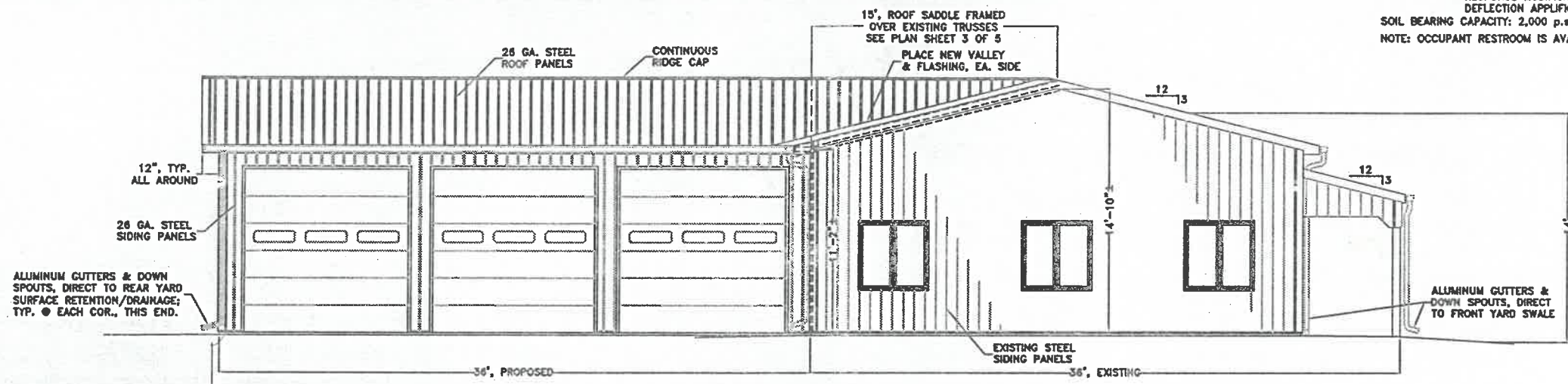


**ACCESSIBLE PARKING SPACE SIGN MOUNTING HEIGHT & DETAIL**  
NO SCALE

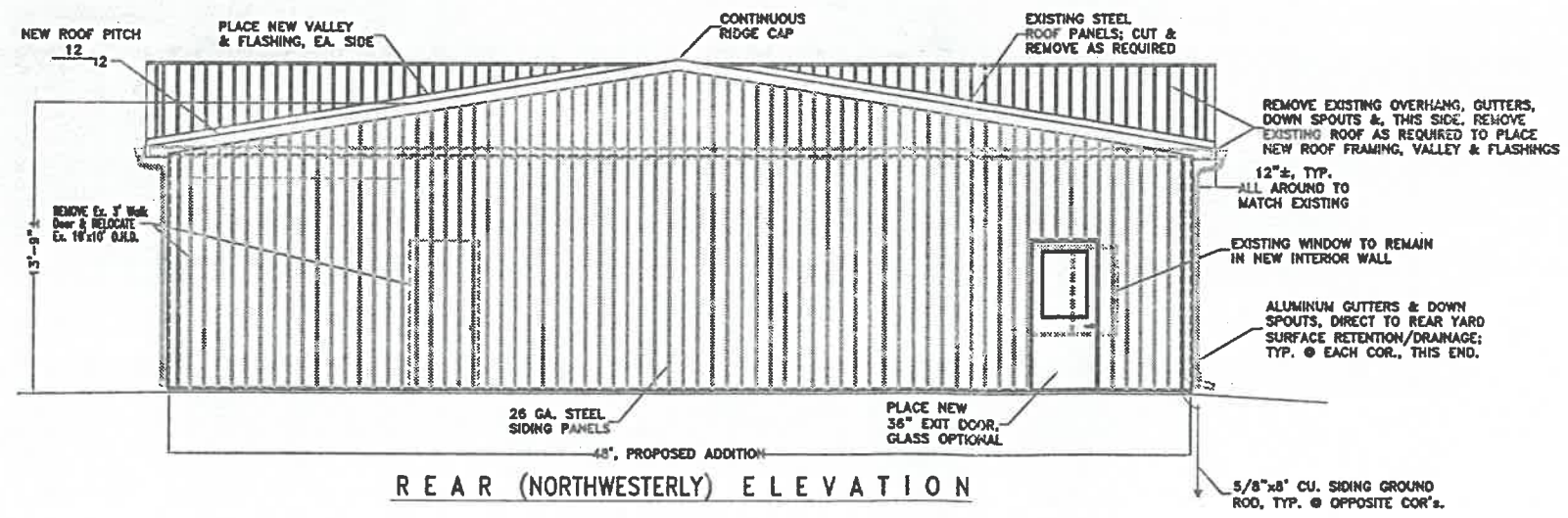
NOTE:  
MATERIAL: NON-GLARE FINISH WITH LIGHT REFLECTIVE SURFACE. SIGN SHALL BE MOUNTED AT ALL ACCESSIBLE SPACES MARKED THIS WAY.  
ACCESSIBILITY SYMBOL SHALL BE MOUNTED AT ALL ACCESSIBLE SPACES MARKED THIS WAY.  
ADDITIONAL SIGN AT ALL REQUIRED VAN SPACES.  
FRAMED GRADE OF ACCESSIBLE ROUTE.  
MIN. CLEARANCE AT ALL REQUIRED VAN SPACES.



FRONT (SOUTHEASTERLY) ELEVATION



RIGHT SIDE (SOUTHWESTERLY) ELEVATION  
LEFT SIDE (NORTHEASTERLY) ELEVATION IS MIRROR - w/o DOORS & WINDOWS



REAR (NORTHWESTERLY) ELEVATION

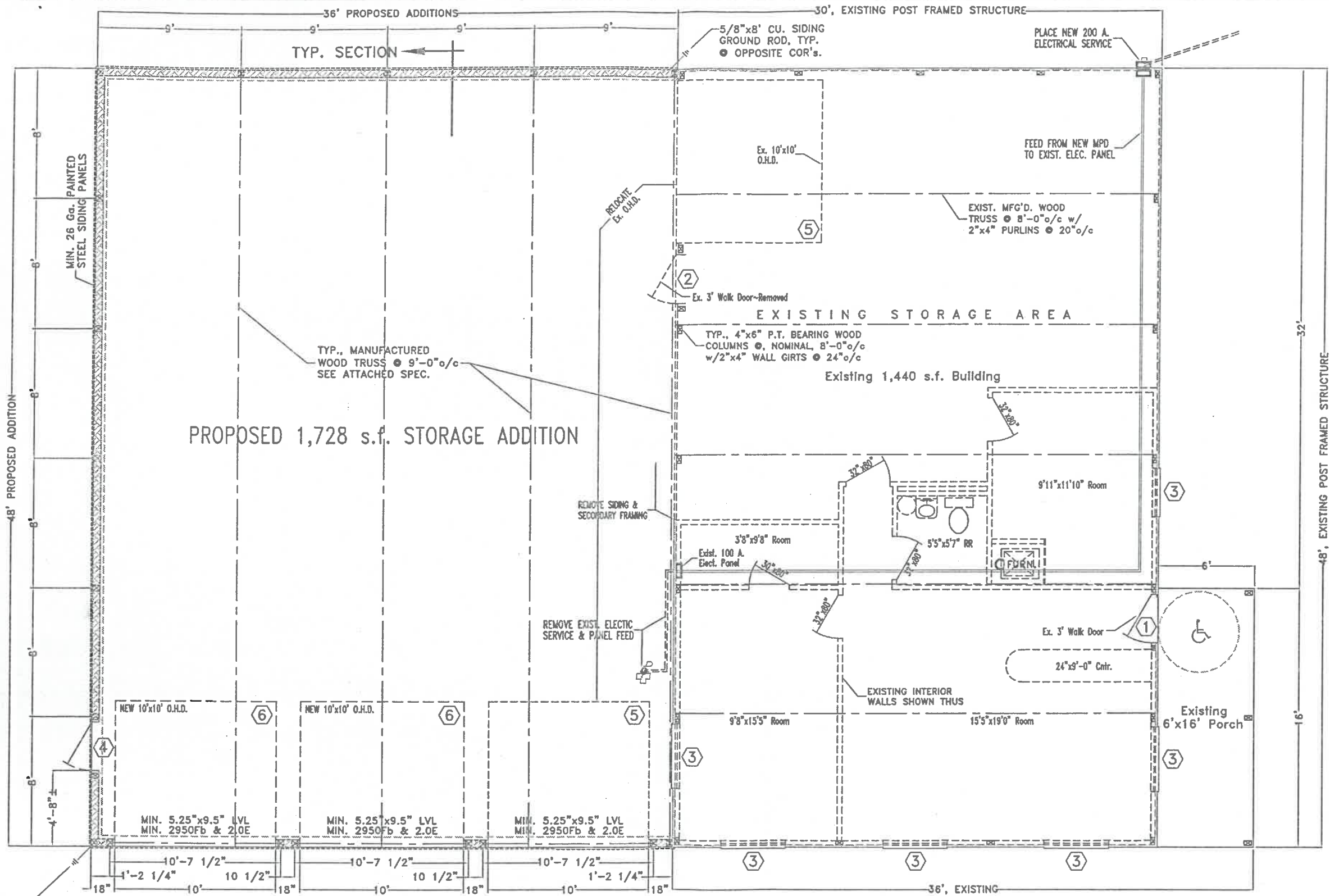
**BUILDING DATA:**  
 RE: 2007 OHIO BUILDING CODE  
 USE GROUP: "S-1" MODERATE HAZARD STORAGE  
 CONSTRUCTION TYPE: 5B, COMBUSTIBLE-UNPROTECTED  
 AREA: ALLOWABLE: 9,000 SQ. FT. (Table 503)  
 EXISTING: 1,536 SQ. FT. (w/PORCH)  
 PROPOSED: 1,728 SQ. FT. (THIS PROJECT)  
 TOTAL: 3,264 SQ. FT.  
 HEIGHT: ALLOWABLE: 40' - 1 STORY  
 EXISTING: 14'± - 1 STORY ~ NO CHANGE  
 MAXIMUM OCCUPANCY LOAD: 7 PERSONS (Table 1004.1.1/Whse)  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 200' ALLOWABLE  
 45'±, EXISTING  
 70'± PROPOSED  
 DESIGN LOADS: FIRST FLOOR; MIN. 125 psf. LIVE plus DEAD LOAD  
 ROOF; 20 psf. LIVE LOAD plus DEAD LOAD  
 20 psf. MIN. GROUND SNOW LOAD  
 SNOW EXPOSURE FACTOR, Ce = 0.9  
 SNOW LOAD IMPORTANCE FACTOR, I = 1.0  
 THERMAL FACTOR, Ct = 1.2  
 WIND: EXPOSURE "B", 76 mph basic wind speed,  
 90 mph 3 second gust wind velocity.  
 WIND IMPORTANCE FACTOR, Iw = 1.00  
 BUILDING CATEGORY = II  
 SEISMIC DATA: SITE CLASS = D  
 USE GROUP = I  
 SPECTRAL RESPONSE COEFFICIENTS, SDS = 0.280  
 S41 = 0.144  
 OCCUPANCY IMPORTANCE FACTOR = 1.00  
 SEISMIC DESIGN CATEGORY: SHORT PERIOD = B  
 1 SECOND PERIOD = B  
 ANALYSIS PROCEDURE: SAP, (ASCE 7)  
 BASIC STRUCTURAL SYSTEM: 2 BFS (T)  
 RESPONSE MODIFICATION COEFFICIENT: R = 7.0  
 DEFLECTION APPLICATION FACTOR: Cd = 4.5  
 SOIL BEARING CAPACITY: 2,000 p.s.f. (Class 4 Soils)  
 NOTE: OCCUPANT RESTROOM IS AVAILABLE IN THE EXISTING BUILDING.

- INDEX OF DRAWINGS:**
- 1) EXTERIOR ELEVATIONS & BUILDING DATA
  - 2) FLOOR PLAN w/DOOR & WINDOW SCHEDULE
  - 3) FOUNDATION & ROOF SADDLE FRAMING PLAN AND GENERAL SPECIFICATIONS
  - 4) TYPICAL SECTIONS & DETAILS
- ATTACHMENTS:**
- E-1) ELECTRICAL PLAN & DETAILS
  - S-1) SITE PLAN & LOCATION MAP
  - CERTIFIED TRUSS SPECIFICATION

SCANNED  
 to codepen  
 Permit# ZC2010-14



**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE. 419.592.9339 NAPOLEON, OHIO  
 DIRECTORY: C:\ND\CUSTOM FILE: G MALONE\BOWELCO FLOOR PLAN REVISED:  
 DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS  
 EXTERIOR ELEVATIONS & BUILDING DATA  
 SCALE: 3/16" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER: 1 of 4



PROPOSED 1,728 s.f. STORAGE ADDITION

Existing 1,440 s.f. Building

EXISTING STORAGE AREA

TYP., MANUFACTURED WOOD TRUSS @ 9'-0" o/c SEE ATTACHED SPEC.

5/8"x8' CU. SIDING GROUND ROD, TYP. @ OPPOSITE COR'S.

PLACE NEW 200 A. ELECTRICAL SERVICE

FEED FROM NEW MPD TO EXIST. ELEC. PANEL

EXIST. MFG'D. WOOD TRUSS @ 8'-0" o/c w/ 2"x4" PURLINS @ 20" o/c

Ex. 10'x10' O.H.D.

RELOCATE Ex. O.H.D.

Ex. 3' Walk Door-Removed

2

5

6

TYP., 4"x6" P.T. BEARING WOOD COLUMNS @ NOMINAL, 8'-0" o/c w/2"x4" WALL GIRTS @ 24" o/c

REMOVE SIDING & SECONDARY FRAMING

REMOVE EXIST. ELECTRIC SERVICE & PANEL FEED

NEW 10'x10' O.H.D.

NEW 10'x10' O.H.D.

MIN. 5.25"x9.5" LVL MIN. 2950Fb & 2.0E

MIN. 5.25"x9.5" LVL MIN. 2950Fb & 2.0E

MIN. 5.25"x9.5" LVL MIN. 2950Fb & 2.0E

1'-2 1/4"

10'-7 1/2"

10'-7 1/2"

10'-7 1/2"

1'-2 1/4"

18"

36', EXISTING

3

3

3

3

3

3

3

3

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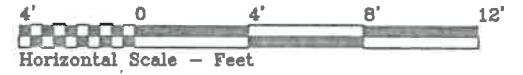
3

3

3

NO.	SIZE	DOOR/WINDOW	TYPE FRAME	REMARKS/HARDWARE
1	3'-0"x6'-8"	INSULATED HOLLOW METAL	WOOD	EXISTING ~ NO WORK
2	3'-0"x6'-8"	INSULATED HOLLOW METAL	WOOD	REMOVE w/WALL PANELS & SECONDARY FRAMING
3	3'x3' or 4'x4'	METAL FRAMED WINDOW	METAL	EXISTING ~ NO WORK
4	3'-0"x6'-8"	INSULATED HOLLOW METAL	WOOD	NEW EGRESS DOOR w/H.C. HARDWARE (a) GLASS LITE, OPTIONAL
5	10'-0"x10'-0"	METAL OVERHEAD DOOR	WOOD	EXISTING ~ RELOCATE TO NEW OPENING
6	10'-0"x10'-0"	METAL OVERHEAD DOOR	WOOD	NEW DOOR TO MATCH EXISTING INSOFAR AS PRACTICABLE, FURNISH COMPLETE w/ALL HARDWARE

(a) HARDWARE TO BE COMMERCIAL GRADE AS MANUFACTURED BY, RUSSWIN, SCHLAGE, VON DUPRIN, LNC CLOSERS, IVES, OR EQUAL. ADA APPROVED.



**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE. 419.592.9339 NAPOLEON, OHIO  
 DIRECTORY: C:\ND\CUSTOM FILE: G MALONE\BOWELLCO FLOOR PLAN REVISION:  
 DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS  
**FLOOR PLAN w/DOOR & WINDOW SCHEDULE**  
 SCALE: 1/4" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER:  
 2 of 4

**GENERAL SPECIFICATIONS**

**GENERAL NOTES:**

1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH THE 2007 OHIO BUILDING CODE (LATEST EDITION) AND RELATED STATE & LOCAL CODES. CONTRACTORS SHALL INSURE THAT ALL PRODUCTS AND MATERIAL UTILIZED COMPLY WITH CURRENT LOCAL, STATE AND FEDERAL REGULATIONS AND CODES AND THAT THEIR INSTALLATION IS IN STRICT COMPLIANCE WITH THE INSTRUCTIONS AND RECOMMENDATIONS OF THE MANUFACTURER, WHERE THE PROVISIONS OF THE BUILDING CODE(S) AND THESE PLANS CONFLICT, THE MOST RESTRICTIVE REQUIREMENTS SHALL APPLY.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF PROPOSED CONSTRUCTION PRIOR TO BEGINNING WORK. ANY DISCREPANCIES, INCONSISTENCIES OR ERRORS SHALL BE REPORTED TO THE ENGINEER AND BE RESOLVED PRIOR TO PROCEEDING WITH THE CONSTRUCTION.

**SITE WORK NOTES:**

1. CONTRACTOR SHALL REMOVE ALL TOP SOIL TO ITS ENTIRE DEPTH WITHIN AN AREA FIVE (5) FEET OUTSIDE OF THE AREA TO BE OCCUPIED BY THE BUILDING CONSTRUCTION. TOP SOIL SHALL BE PLACED AT A LOCATION OR SITE AS DIRECTED BY THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
2. CONTRACTOR SHALL EXCAVATE ALL MATERIAL REQUIRED TO PLACE THE BUILDING FOOTINGS AND FOUNDATIONS IN ACCORDANCE WITH THE PLAN AND SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF INADEQUATE SOIL BEARING CONDITIONS ARE FOUND. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL AT A MINIMUM OF 36" BELOW FINAL FINISHED GRADE.
3. IF STRUCTURAL FILL IS REQUIRED BY PLAN, OR BECAUSE OF UNSUITABLE CONDITIONS FOUND UPON EXCAVATION, IT SHALL BE GRANULAR FILL, AS APPROVED BY THE OWNER'S ENGINEER, PLACED IN LIFTS OF 8" MAXIMUM UNCOMPACTED DEPTH AND MECHANICALLY COMPACTED TO A MINIMUM OF 95% COMPACTION AS MEASURED BY THE STANDARD MOORED PROCTOR TEST ASTM D-1557.
4. UPON COMPLETION OF THE REQUIRED FOUNDATION WALLS AND PIERS THE CONTRACTOR SHALL BACKFILL ALL AREAS WITHIN AND OUTSIDE THE AREA OF THE BUILDING, BACKFILL WITHIN THE BUILDING AREA AND IN AREAS OUTSIDE THE BUILDING TO BE OCCUPIED BY PAVEMENT SHALL BE EXTENDED UP TO THE ELEVATION OF THE BOTTOM OF THE PROPOSED GRANULAR BASE REQUIRED FOR THE CONCRETE FLOOR OR PAVEMENT IN THE SAME MANNER REQUIRED FOR STRUCTURAL FILL. OTHER BACKFILL OUTSIDE THE BUILDING AREA MAY BE GRANULAR OR CLEAN NATIVE MATERIAL, WELL COMPACTED AND EXTENDED TO AN ELEVATION 1" BELOW THE FINAL FINISHED GRADE.
5. UPON COMPLETION OF THE BUILDING CONSTRUCTION THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, STONES AND LUMPS, ETC. OFF-SITE, SHALL LEVEL THE SUB GRADE AND SHALL PLACE & FRESH-GRADE THE TOP SOIL TO DRAIN AWAY FROM THE BUILDING AS REQUIRED PER PLAN TO ALLOW THE OWNER TO SEED AND LANDSCAPE AT HIS DISCRETION.

**CONCRETE/FOUNDATION WORK NOTES:**

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. ALL NEW CONCRETE SHALL CONSIST OF A MINIMUM 6 BAG MIX WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. ALL EXTERIOR CONCRETE FLOORING SHALL BE AIR ENTRAINMENT (MINIMUM 6% ±2%) CONCRETE. ALL CONCRETE SHALL BE ALLOWED TO CURE A MINIMUM OF 14 DAYS PRIOR TO LOADING.
2. ALL GRANULAR BASE PLACED UNDER CONCRETE FLATWORK SHALL BE PLACED AS PER THE REQUIREMENTS OF STRUCTURAL FILL (SEE NOTE 3-SITE WORK).
3. INTERIOR FLOOR SLABS SHALL BE PLACED ON A MINIMUM VAPOR BARRIER CONSISTING OF 6 MIL POLYETHYLENE MATERIAL. VESICLES OR COILS SHALL BE PLACED LEVEL, EXCEPT WHERE FLOOR DRAINS ARE PLACED, AND SHALL BE FINISHED WITH A SMOOTH TROWEL FINISH. ALL CONTROL JOINTS SHALL BE SEALED WITH AN APPROVED ELASTOMERIC JOINT SEALER AND THE SURFACE SHALL RECEIVE ONE COAT OF A CONCRETE FLOOR SEALER/CURING COMPOUND AS APPROVED BY THE ENGINEER.
4. ALL STRUCTURAL AND ENTRANCE SLABS SHALL BE FLOATED AND PROVIDED WITH A LIGHT BROOM FINISH. PROVIDE SAW CONTROL JOINTS AT A MAXIMUM OF 5' ON CENTER FOR SEEWALKS AND 15' APART ON SLABS OR AS NOTED ON THE CONSTRUCTION PLANS. PROVIDE A MINIMUM 1/2" EXPANSION JOINT AT THE JUNCTION OF SLAB AND BUILDING WALL. ALL CONTROL JOINTS SHALL BE 5/8" TO A DEPTH OF 1/4 OF THE SLAB THICKNESS. ALL SEEWALKS AND SLABS SHALL RECEIVE ONE COAT OF AN APPROVED SEALER/CURING COMPOUND.
5. REINFORCING STEEL SHALL BE ASTM A615, A616 OR A617 STEEL, GRADE 60.
6. ALL CONCRETE SLABS SHALL BE REINFORCED WITH A MINIMUM OF 1 LAYER OF 6@12" O.C. WELDED WIRE FABRIC UNLESS NOTED OTHERWISE ON THE PLAN.

**FRAMING NOTES:**

1. ALL DIMENSIONAL FRAMING LUMBER SHALL BE EQUAL TO, OR BETTER THAN, #2 SPRUCE-PIKE-TIE. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE TREATED LUMBER MEETING THE REQUIREMENTS OF SECTIONS 2304.11 & 2303.1.6, O.B.C.
2. CONTRACTOR SHALL CONFIRM THE SIZE AND SPACING OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODES WITH THE LOCAL CODE OFFICIAL. REQUIRED STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLAN SHALL BE SIZED BY THE CONTRACTOR TO MEET LOCAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SIZING OF ALL STRUCTURAL MEMBERS AND SHALL CONFIRM THEIR SUFFICIENCY WITH THE PROJECT ENGINEER AND CODE OFFICIALS AS REQUIRED.
3. ALL TRUSSES TO BE UTILIZED SHALL BE ENGINEERED BY THE TRUSS MANUFACTURER TO MEET THE LOADING REQUIREMENTS SHOWN HEREON OR THE REQUIREMENTS OF THE BUILDING CODE AND LOCAL CONDITIONS, WHICHEVER ARE GREATER. THE TRUSS MANUFACTURER SHALL SUPPLY A TRUSS DIAGRAM TO THE OWNER FOR EACH TYPE OF TRUSS USED, SIGNED & SEALED BY AN OHIO REGISTERED PROFESSIONAL ENGINEER.

**BUILDING ENVELOPE NOTES:**

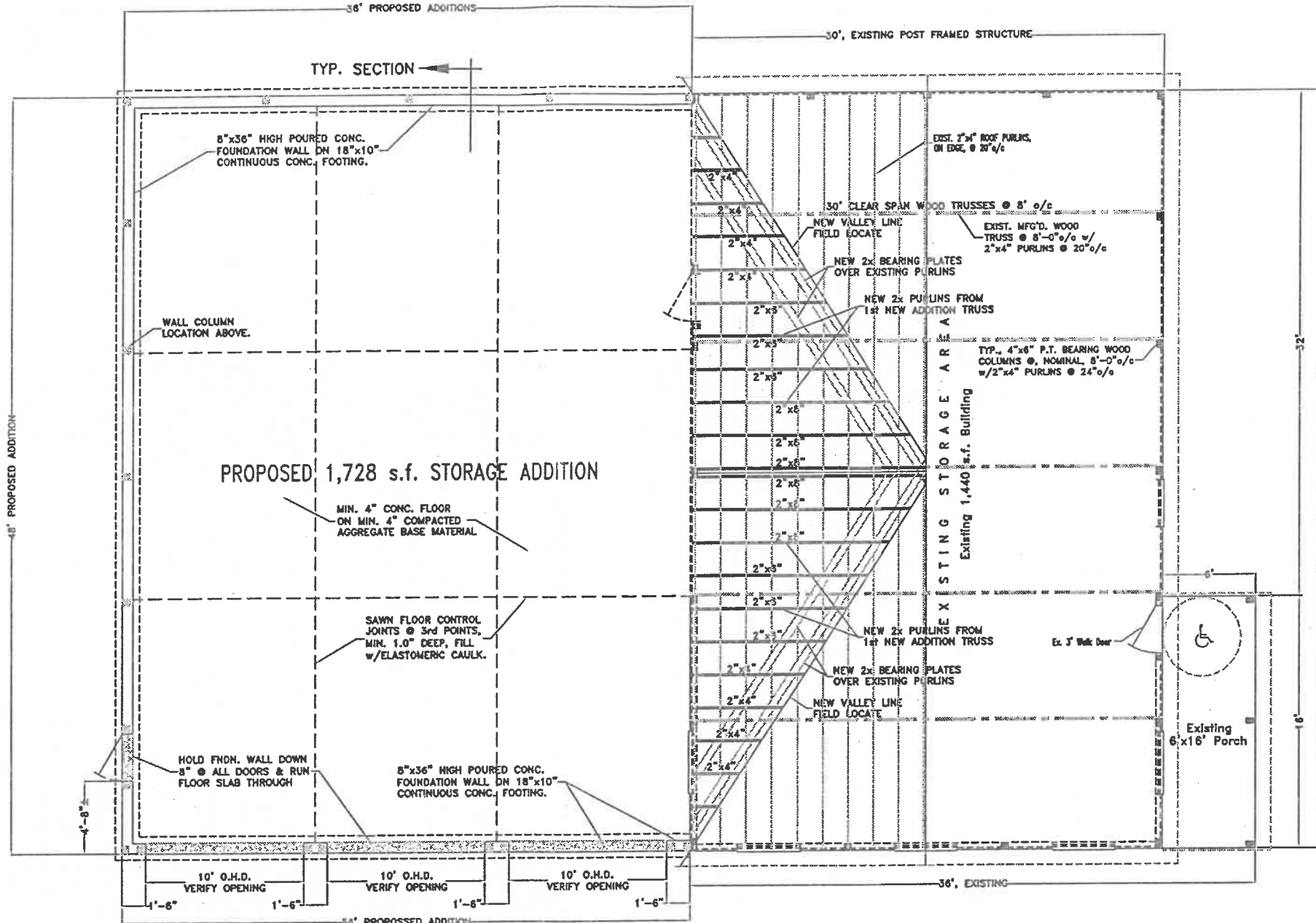
1. PROVIDE WEATHER-STRIPPING AT ALL EXTERIOR DOOR OPENINGS AND CAULK, OR OTHERWISE SEAL, ALL JOINTS AND UTILITY LINE ENTRANCES SUBJECT TO AIR INFILTRATION.

**DOOR & WINDOW NOTES:**

1. EXIT DOORS SHALL BE INSULATED HOLLOW METAL DOORS WITH HOLLOW METAL FRAMES AS MANUFACTURED BY CECO, OR EQUAL.
2. MEANS OF EGRESS DOORS SHALL BE READILY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. USE LEVER TYPE (HANDICAPPED ACCESSIBLE) HARDWARE ON ALL EGRESS DOORS PER OHIO BUILDING CODE REQUIREMENTS AND ADAAG GUIDELINES.
3. PROVIDE LEVEL GRADE AT ALL MEANS OF EGRESS DOORWAYS w/MAXIMUM 1/2" THRESHOLD. MAXIMUM SLOPE OF APPROACH AT DOOR SHALL BE 1/4" PER FOOT.

**ROOM FINISH NOTES:**

1. ALL CONCRETE FLOOR SURFACES SHALL RECEIVE ONE COAT OF CONCRETE SEALER/CURING COMPOUND.

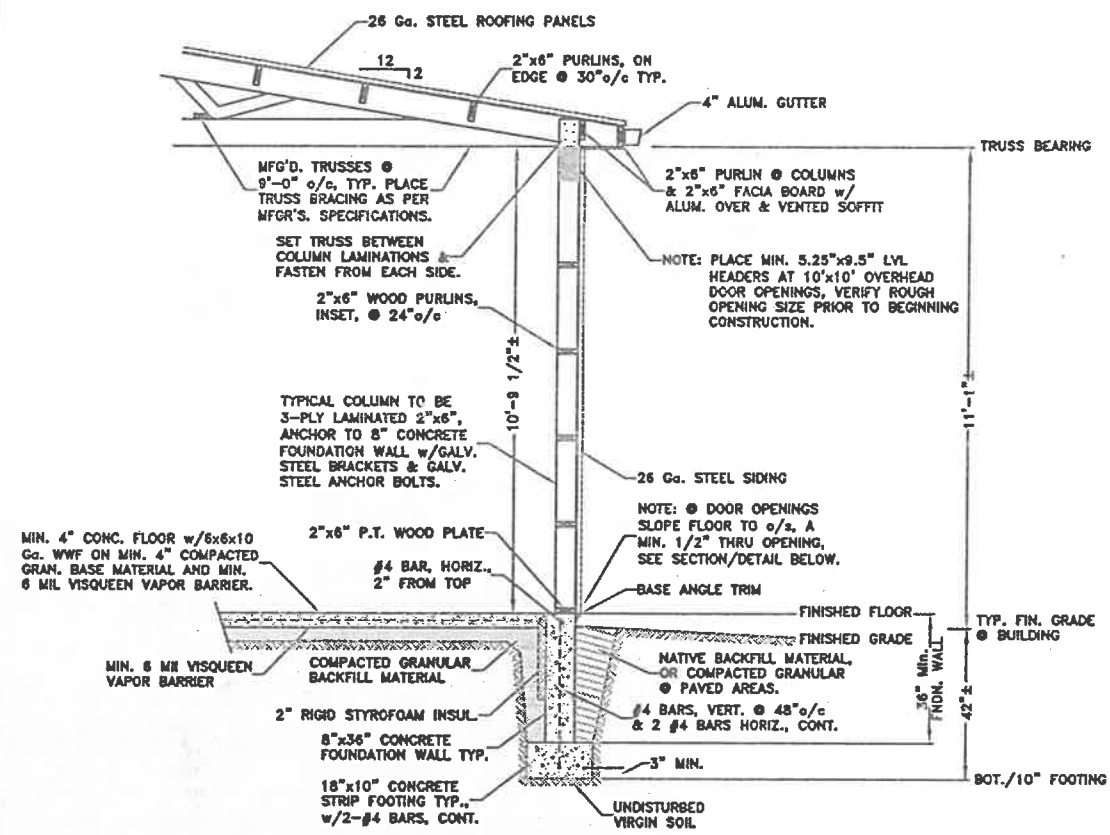


FOUNDATION PLAN

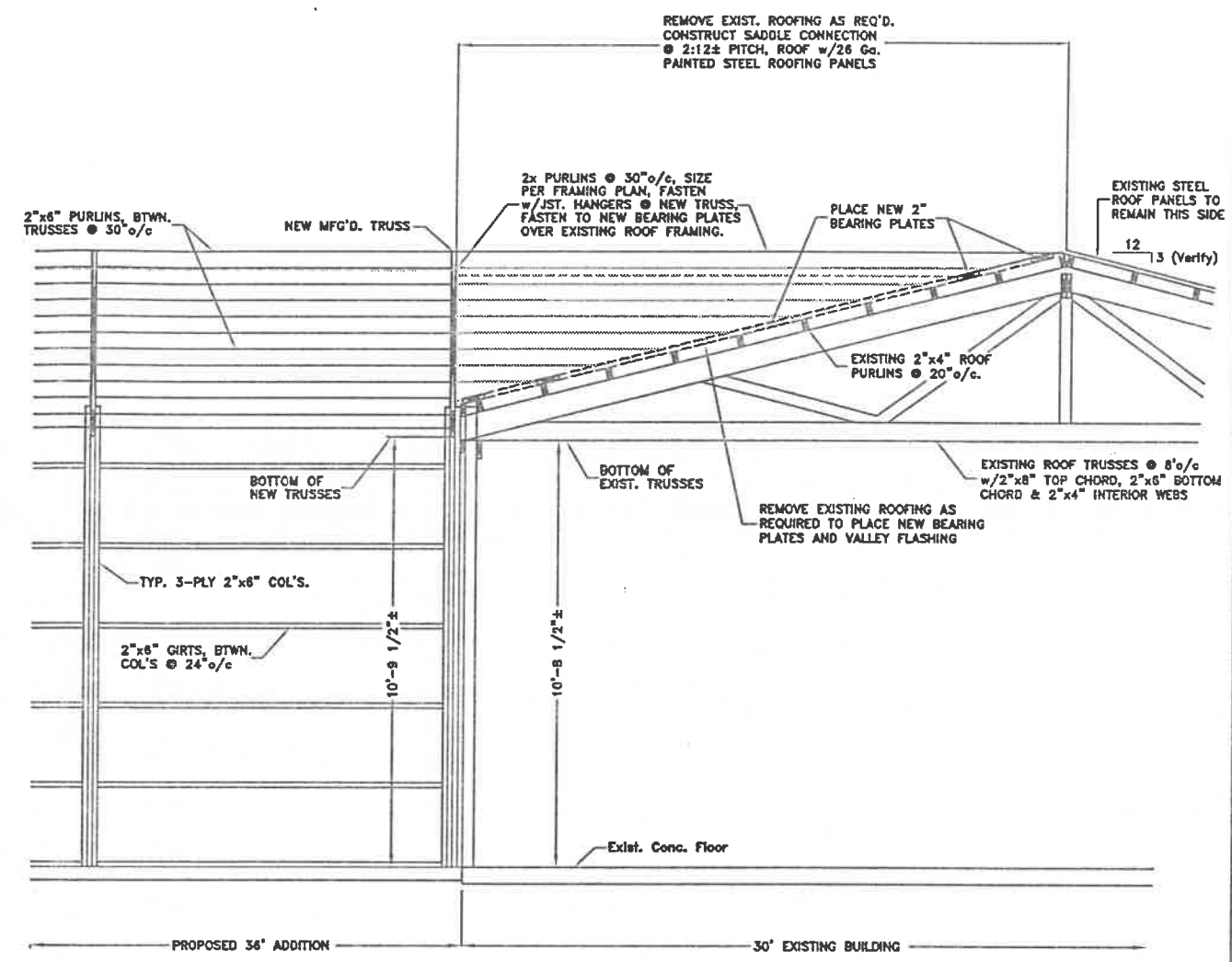
ROOF SADDLE FRAMING PLAN



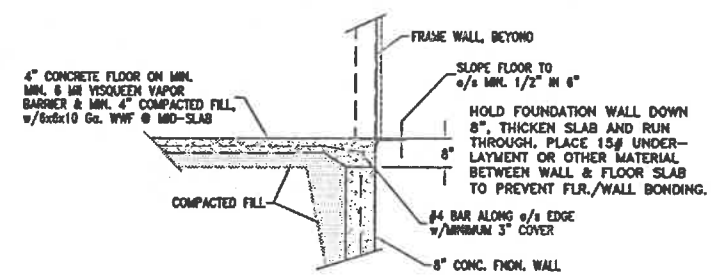
<b>GARY MALONE STORAGE BUILDING</b>	
842 E. RIVERVIEW AVE.	419.592.9339
NAPOLEON, OHIO	
DIRECTORY: C:\ND\CUSTOM	FILE: G MALONE\BOWELCO FLOOR PLAN
REVISED:	
DRAWN BY: R.D.S. ~ dbc: NEW DIMENSIONS	
FOUNDATION & ROOF SADDLE FRAMING	SCALE: 3/16" = 1'
PLAN AND GENERAL SPECIFICATIONS	DATE: OCT., 2010
	DRAWING NUMBER: 3 of 4



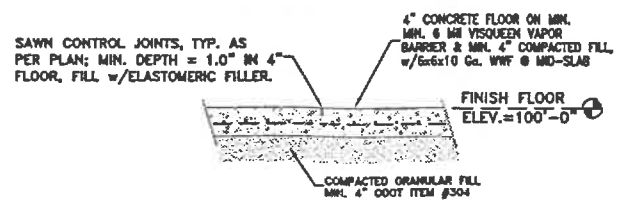
TYPICAL CROSS SECTION



ROOF SADDLE DETAIL



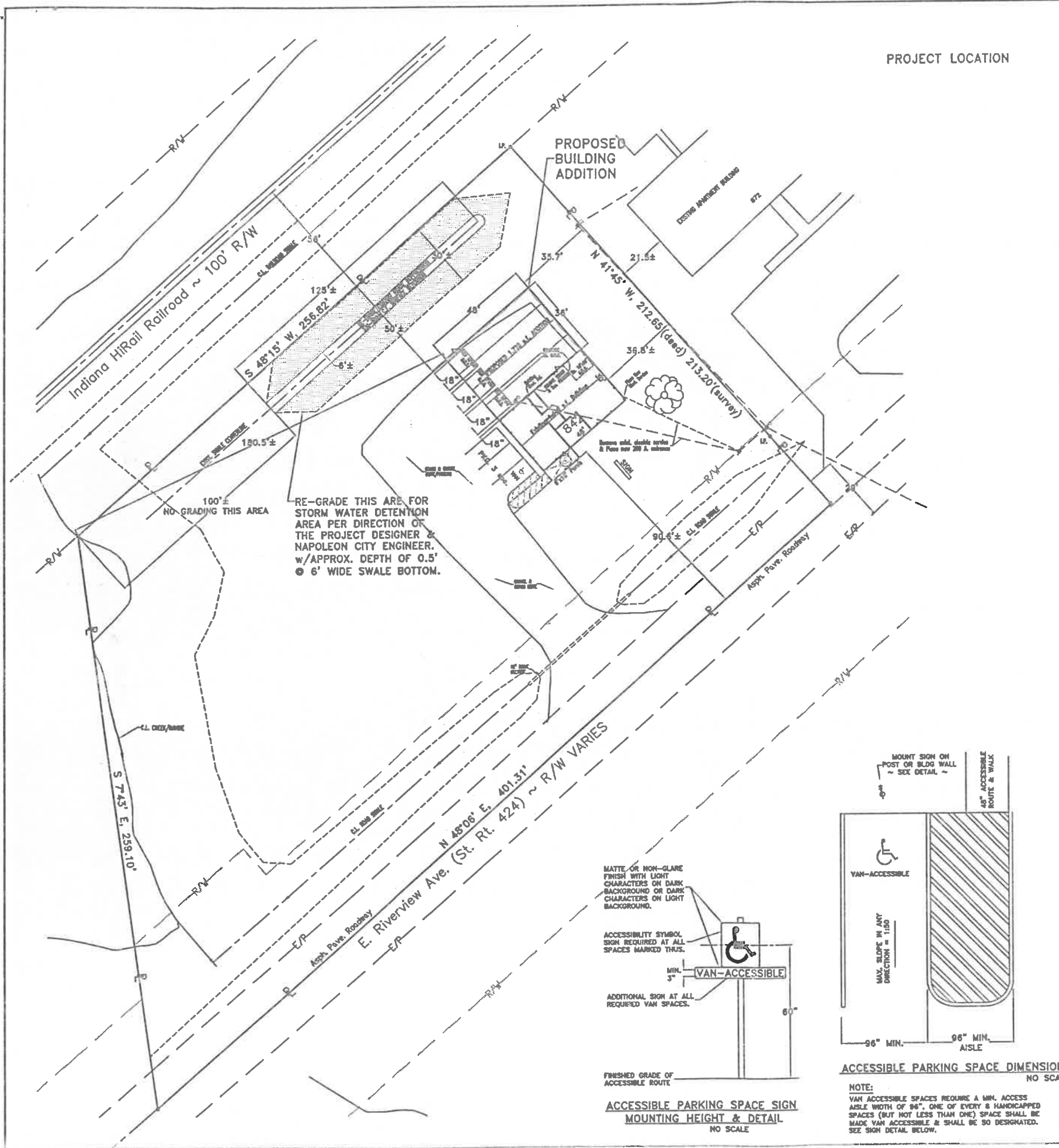
FLOOR EDGE @  
OPENING OVER WALL



TYPICAL FLOOR CONTROL JOINT  
NO SCALE

<b>GARY MALONE STORAGE BUILDING</b>		
842 E. RIVERVIEW AVE.	419.592.9339	NAPOLION, OHIO
DIRECTORY: C:\ND\CUSTOM	FILE: G MALONE\BOWELLCO FLOOR PLAN	REVISED:
DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS		
TYPICAL SECTIONS & DETAILS		SCALE: 3/8" = 1'
		DATE: OCT., 2010
		DRAWING NUMBER:
		4 of 4

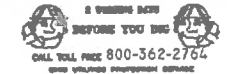
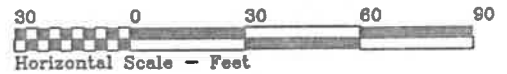
PROJECT LOCATION



LOCATION MAP

**LEGAL DESCRIPTION**  
 Being part of the Southwest fractional quarter (1/4) of Section 7, Town 5 North, Range 7 East, Liberty Township, City of Napoleon, Henry County, Ohio

LOT AREA = 1.60 ACRES (69,696 SQ. FT.)  
 ZONING = I-2 OPEN INDUSTRIAL  
 3 PARKING SPACES - TOTAL  
 1 HANDICAPPED SPACE  
 VAN ACCESSIBLE

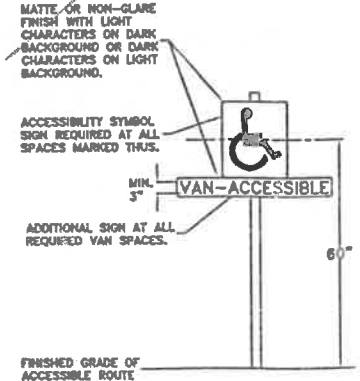


**OHIO UTILITIES PROTECTION SERVICE**  
 The underground utilities shown herein are only approximate. Some of the utilities were located by field observation, where possible, and the remaining utilities were derived from various records. Exact locations must be determined by the UTILITY COMPANIES. For exact locations, telephone the Ohio Utilities Protection Service (O.U.P.S.) toll free at 1-800-362-2764. (Telephone 2 working days before any digging.)



ACCESSIBLE PARKING SPACE DIMENSIONS NO SCALE

**NOTE:**  
 VAN ACCESSIBLE SPACES REQUIRE A MIN. ACCESS AISLE WIDTH OF 96". ONE OF EVERY 8 HANDICAPPED SPACES (BUT NOT LESS THAN ONE) SPACE SHALL BE MADE VAN ACCESSIBLE & SHALL BE SO DESIGNATED. SEE SIGN DETAIL BELOW.



ACCESSIBLE PARKING SPACE SIGN MOUNTING HEIGHT & DETAIL NO SCALE

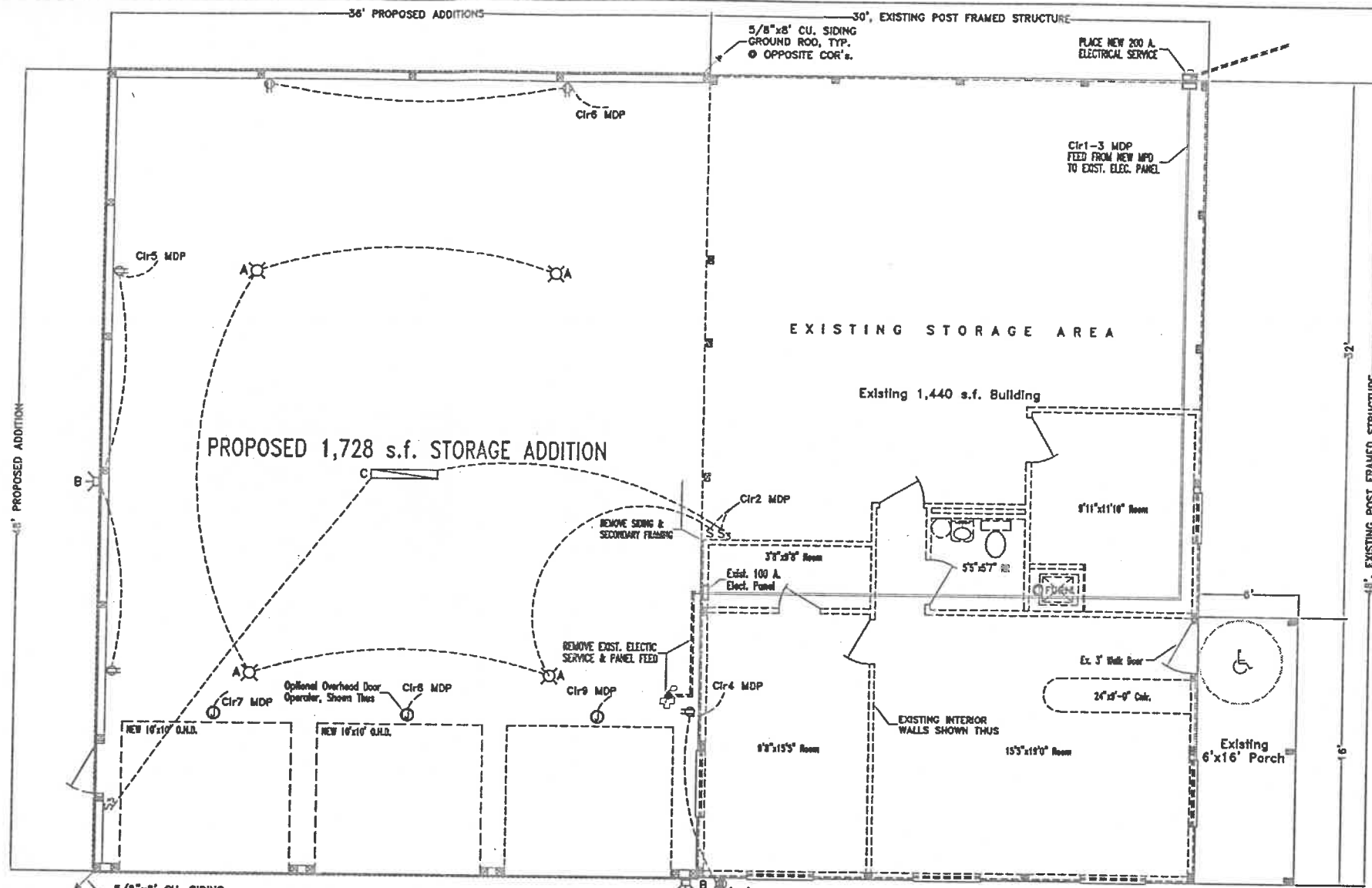
<b>GARY MALONE STORAGE BUILDING</b>		NAPOLEON, OHIO	
842 E. RIVERVIEW AVE. 419.592.9339			
DIRECTORY: C:\ND\CUSTOM	FILE NAME: bowellco site	REVISED:	
DRAWN BY: R.D.S. ~ dba: NEW DIMENSIONS		SCALE: 1" = 30'	
SITE PLAN & LOCATION PLAN		DATE: OCT. 2010	
		DRAWING NUMBER:	S - 1

**ELECTRICAL LEGEND**

- S LIGHT SWITCH
- S<sub>3</sub> 3 WAY LIGHT SWITCH
- (wrc) 120 V. G.F.C.I. DUPLEX RECEPTACLE  
(wrc) INDICATES WEATHER RESISTANT RECEPTACLE & WEATHERTIGHT COVER
- (gfi) 120 V. DUPLEX RECEPTACLE  
(gfi) INDICATES GROUND FAULT PROTECTION
- ⓪ SPECIAL OUTLET-AS NOTED
- A⓪ PORCELAIN LAMP HOLDER OR CEILING MOUNT LIGHTING FIXTURE w/100W INCANDESCENT BULB
- B⓪ EXTERIOR WALL LIGHT FIXTURE, ON TIMER OR LIGHTING CONTROL PANEL, 75W INCANDESCENT
- C 2 TUBE, 8' FLUORESCENT LIGHT FIXTURE, CEILING MOUNT w/2 59W-T8-120V LAMPS  
For Optional use as Night Light

**ELECTRIC LOAD CALCULATION**

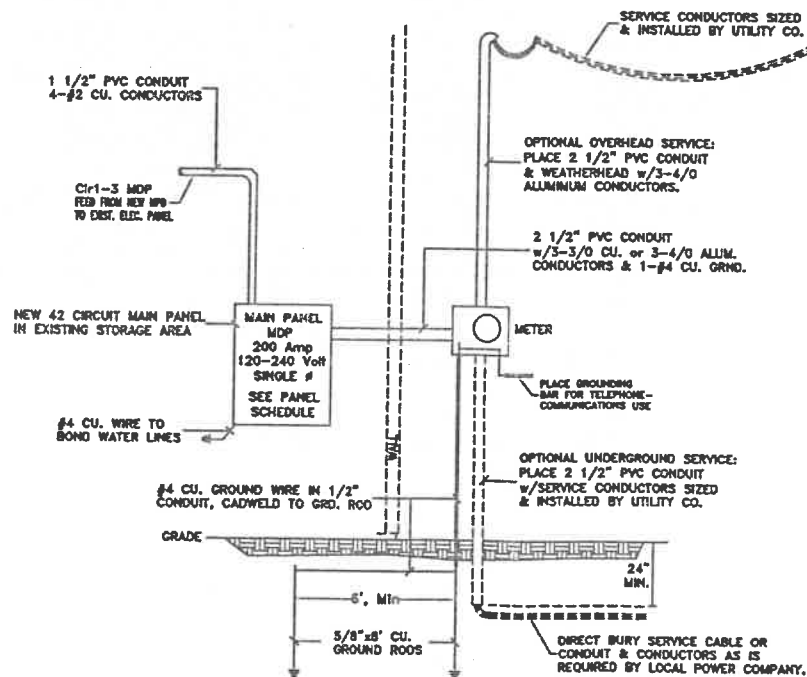
EQUIPMENT	NO.	LOAD	V.	A @ 240
LIGHTING	7±	VARIES	120	5
CONVENIENCE RECEPT	6	250w	120	6.5
DOOR OPERATORS	3	1/2hp	120	12
EXST. LOAD (100A Serv)	1	ESTIMATED 120/240		50
<b>TOTAL ESTIMATED AMPS:</b>				<b>73.5</b>



**ELECTRICAL NOTES**

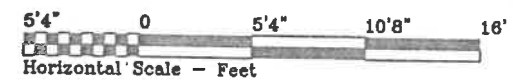
GENERAL: CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ETC. REQUIRED TO PROVIDE A NEW ELECTRICAL SERVICE ENTRANCE & DISTRIBUTION SYSTEM INSTALLATION AS SHOWN ON THE PLANS. THE PLAN PROVIDED IS SCHEMATIC IN NATURE AND THE CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE PLAN WITH THE OWNER, GENERAL CONTRACTOR & SUB-CONTRACTORS PRIOR TO BEGINNING WORK IN ORDER TO ASSURE THE CONSTRUCTION OF A SYSTEM WHICH WILL BE COMPLETE & OPERABLE IN ALL RESPECTS. THE FOLLOWING MINIMUM REQUIREMENTS SHALL APPLY:

- CONTRACTOR SHALL VISIT THE SITE AS TO SATISFY HIMSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- ALL ELECTRICAL WORK SHALL BE INSPECTED AND APPROVED BY THE STATE BUILDING INSPECTION AGENCY, OR THE LOCAL INSPECTION AGENCY HAVING JURISDICTION, A FINAL CERTIFICATE OF INSPECTION AND APPROVAL FORWARDED TO THE OWNER AND ENGINEER AT THE COMPLETION OF THE PROJECT.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- ALL RACEWAYS BURIED IN EARTH, RUN EXPOSED, CAST IN CONCRETE OR INSTALLED IN EXTERIOR WALLS SHALL BE RIGID, GALVANIZED STEEL CONDUIT. CONDUITS BURIED IN EARTH OR CAST IN CONCRETE MAY BE PVC SCH. 40 CONDUIT WITH RIGID STEEL ELBOWS AND RISERS, 3/4" DIAMETER MINIMUM. A GROUND WIRE SHALL BE ADDED IN ALL PVC CONDUIT RUNS. TYPE "NM" WIRE IN CONCEALED LOCATIONS ALLOWED AS PER CODE.
- ALL CONDUCTORS NO. 2 AWG AND LARGER SHALL BE STRANDED COPPER CONDUCTORS WITH 600 VOLT, 75°C. TYPE XHHW OR THHN INSULATION.
- BRANCH CIRCUIT WIRING SHALL BE COPPER CONDUCTORS, MIN. #12 "NM" CABLE OR #12 AWG, 600 VOLT, 75°C WIRE w/TYP THHN OR THWN INSULATION.
- CONTRACTOR SHALL GUARANTEE HIS WORKMANSHIP AND ALL MATERIALS (EXCEPT LAMPS) FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL MATERIALS FURNISHED AND/OR INSTALLED UNDER THIS CONTRACT SHALL BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE AND SHALL BE U.L. LISTED. LIGHT FIXTURES SHALL BE AS MANUFACTURED BY DAY-BRITE LIGHTING DIVISION, EMERSON ELECTRIC CO., METALUX, LITHONIA, OR ALTERNATES AS APPROVED BY THE ENGINEER.
- THIS CONTRACTOR SHALL REMOVE DEBRIS CREATED BY THIS PORTION OF THE CONTRACT AND SHALL CLEAN ALL FIXTURES, PANELS, EQUIPMENT, ETC. AT THE COMPLETION OF THE PROJECT.
- BRANCH CIRCUIT CONDUCTORS SHALL HAVE AN AMPACITY RATING NOT LESS THAN THE MAXIMUM LOAD TO BE SERVED. CONDUCTORS OF MULTI-OUTLET BRANCH CIRCUITS SUPPLYING RECEPTACLES SHALL HAVE AN AMPACITY RATING NOT LESS THAN THE RATING OF THE BRANCH CIRCUIT BREAKER.
- ALL ELECTRICAL OUTLETS, LIGHT SWITCHES, OPERABLE PARTS OF CONTROLS, DISPENSERS, RECEPTACLES, AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN THE LIMITS SPECIFIED IN ADAAG 4.27.3, SWITCH & CONTROL HEIGHTS: MAX. 48" FOR FRONT REACH MAX. 54" FOR SIDE REACH RECEPTACLE HEIGHT: MIN. 15" ABOVE FLOOR
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 lbf.



PANEL MDP		AMPS 200	MAIN BKR AMP 200	BUSSING CU
NO. OF CIRCUITS	42	VOLTS 120/240	NEUTRAL BUS X	MOUNTING SURFACE
BREAKER TYPE	PLUG-IN	PHASE 1φ	GROUND BUS X	TOP FEED Optional
SYM RMS AMPERS	10,000	HERTZ 60	ISOLATED GRND -	BOTTOM FEED Optional
COVER TYPE	FLUSH	COLOR GRAY		FED FROM NEW METER

CIRCUIT	BRKR SIZE	DESCRIPTION	DESCRIPTION	BRKR SIZE	CIRCUIT
1	100	TO EXISTING 100A SERVICE PANEL	INTERIOR LIGHTING	20	2
3			1/2 & 0/s RECEPT's. & 0/s LIGHT	20	4
5	20	1/2 RECEPT's. & 0/s LIGHT	1/2 RECEPT's.	20	6
7	20	O.H.D. OPERATOR, Optional	O.H.D. OPERATOR, Optional	20	8
9	20	O.H.D. OPERATOR, Optional	SPARE BREAKER	20	10
11	-	SPACE	SPACE	-	12
13	-	SPACE	SPACE	-	14
15-41	-	SPACES	SPACES	-	16-42



**GARY MALONE STORAGE BUILDING**  
 842 E. RIVERVIEW AVE. 419.592.9339 NAPOLEON, OHIO  
 DIRECTORY: C:\ND\CUSTOM FILE: G MALONE\BOWELLCO FLOOR PLAN REVISED:  
 DRAWN BY: R.D.S. ~ dbr: NEW DIMENSIONS  
**ELECTRICAL PLAN & DETAILS** SCALE: 3/16" = 1'  
 DATE: OCT., 2010  
 DRAWING NUMBER: E - 1

**ELECTRICAL RISER DIAGRAM**  
NO SCALE